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15 Rosamond Close, Bradway, Sheffield, S17 4LU



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## Guide Price £400,000

£400,000 - £425,000

A four bedroom, two bathroom end town house situated at the end of a cul-de-sac on a corner plot, offering over 1750 sq ft of accommodation on three levels making an idea family home.

The property has no onward chain and briefly comprises; entrance hall with built in cupboard and courtesy door to access the integrated double garage. stairs from the entrance hall lead to the first floor landing which has doors to the living room, kitchen and cloakroom/w.c. The living room is to the front having patio doors opening to access a balcony whilst to the rear of the room is the dining area. The kitchen overlooks the garden and has a separate utility room.

To the first floor is the landing with built in storage, four bedrooms and two bathrooms - one ensuite.

Externally the property has off road parking for two cars which also provides access to the double garage.

To the rear is a delightful enclosed garden with two patio seating areas surrounded by lawn making it an ideal area for outside entertaining and alfresco dining.

### GENERAL REMARKS

### TENURE

This property is long Leasehold with a term of 200 Years From 25 December 1977 at a ground rent of £8.50 per annum.

### RATING ASSESSMENT

We are verbally advised by the Local Authority that the property is assessed for Council Tax purposes to Band E.

### VACANT POSSESSION

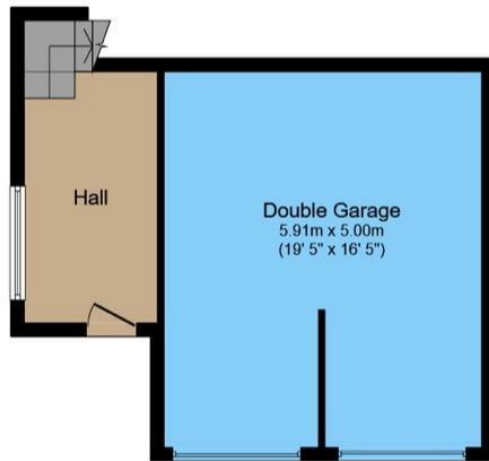
Vacant possession will be given on completion and all fixtures and fittings mentioned in the above particulars are to be included in the sale.

### MORTGAGE FACILITIES

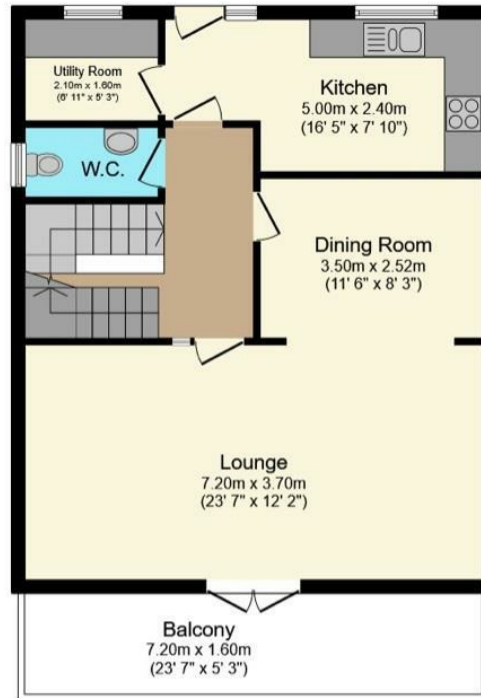
We should be pleased to advise you in obtaining the best type of Mortgage to suit your individual requirements.

YOUR HOME IS AT RISK IF YOU DO NOT KEEP UP REPAYMENTS ON A MORTGAGE OR OTHER LOANS SECURED ON IT.

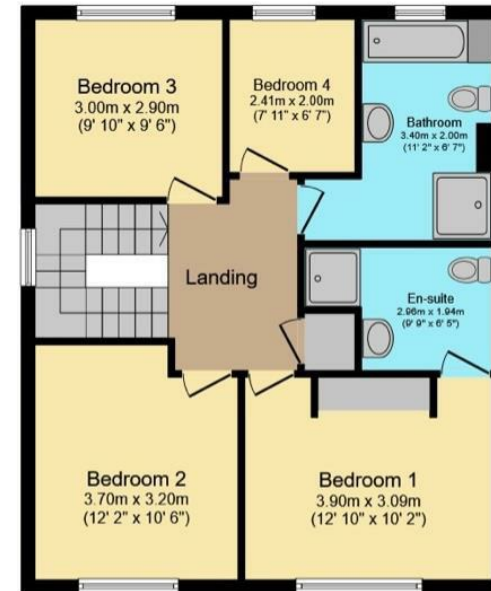
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**Ground Floor**



**First Floor**

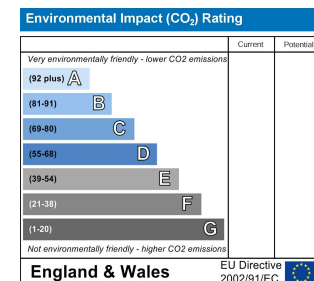
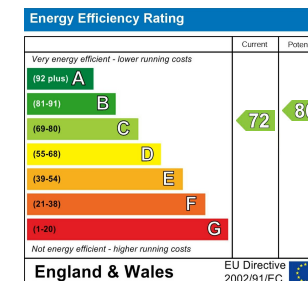


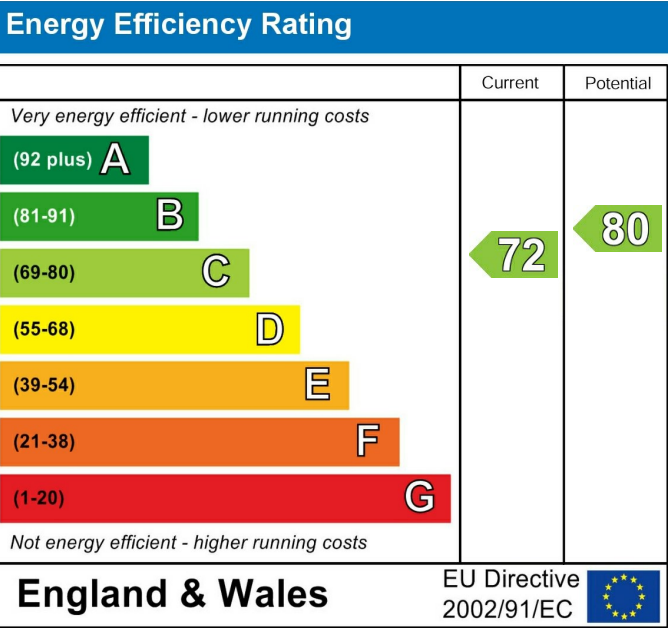
**Second Floor**

Total floor area 165.9 sq.m. (1,786 sq.ft.) approx

This floor plan is for illustrative purposes only. It is not drawn to scale. Any measurements, floor areas (including any total floor area), openings and orientation are approximate. No details are guaranteed, they cannot be relied upon for any purpose and they do not form part of any agreement. No liability is taken for any error, omission or misstatement. A party must rely upon its own inspection(s).

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These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate. If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.



















